

SYMINGTON STREET

LOT

BLOCK 107

BLOCK 108

BLOCK 114

234

COLGAN CRESCENT

PIN

37268

0711

LOT 375

LOT 376

LOT 377

LOT 378

59.000

N51°01'10"W

1.5

N38°58'50"E

86.834

48.238

N52°16'00"W

11.052

N38°07'35"W

MILLINER AVENUE

LOT 85

LOT 86

LOT 87

LOT 88

LOT 89

LOT 90

LOT 91

LOT 92

LOT 93

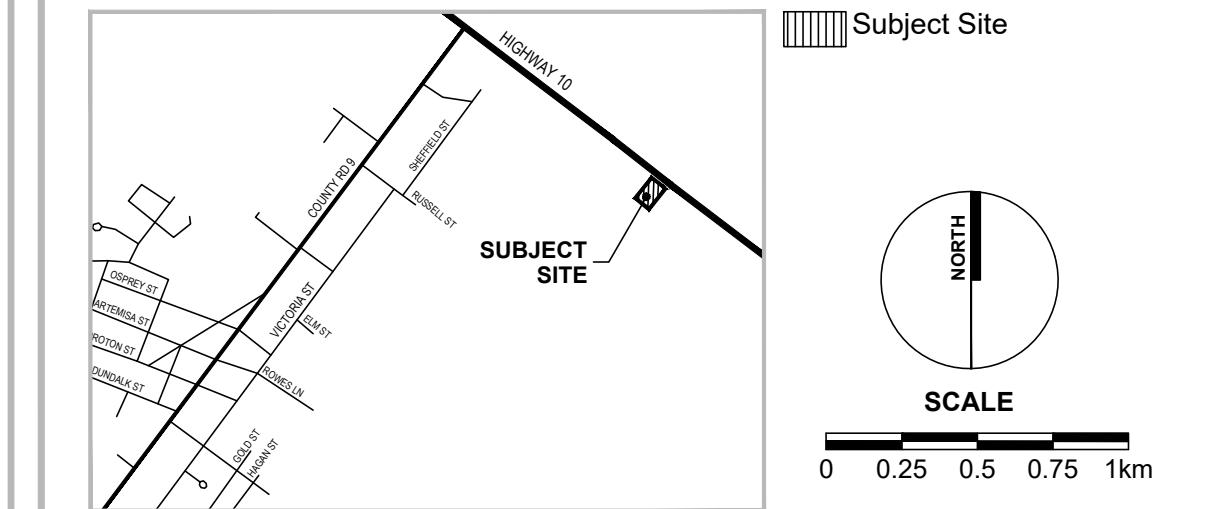
SITE STATISTICS

TOWNSHIP OF SOUTHGATE LOCAL COMMERCIAL EXCEPTION 465 (C1-465) ZONE		
PROVISION	REQUIRED	PROVIDED
LOT FRONTAGE (MIN.)	32m FROM CENTRE OF HWY 10	59.01m
LOT AREA (MIN.)	690m <sup>2</sup>	5,146.5m <sup>2</sup>
LOT COVERAGE (MAX.)	30%	8.8%(454.1m <sup>2</sup> )
GROSS FLOOR AREA (MAX.)	45% OF LOT AREA	8.8%(454.1m <sup>2</sup> )
FRONT YARD (MIN.)	32m FROM CENTRE OF HWY 10	±42m
INTERIOR SIDE YARD (MIN.)	3m	10.80m
EXTERIOR SIDE YARD (MIN.)	3m	17.29m
REAR YARD (MIN.)	10m	52.69m
BUILDING HEIGHT (MAX.)	2 STOREYS	1 STOREY
RESTAURANT GFA (MAX.)	600m <sup>2</sup>	454.1m <sup>2</sup>
RESTAURANT SEATS	-	90 SEATS
PARKING (MIN.)	33 SPACES	43 SPACES (INCL. 2 BARRIER FREE & 3 MOBILE ORDER PICKUP SPACES)
DRIVE THROUGH STACKING SPACE	1 SPACE	15 SPACES
LOADING SPACE (MIN.)	4m x 9m	4.2m x 21.98m

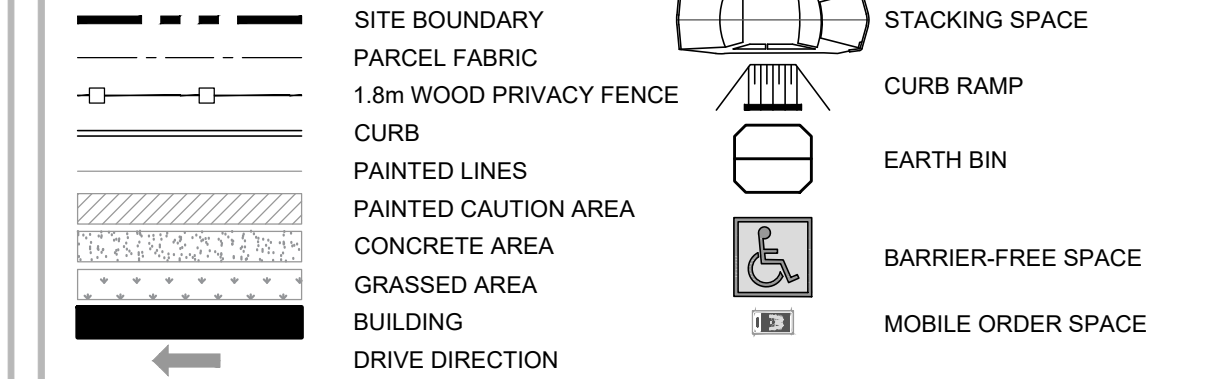
LEGAL DESCRIPTION

PART OF LOT 233 AND LOT 234  
CONCESSION 1  
VILLAGE OF DUNDALK  
TOWNSHIP OF SOUTHGATE  
COUNTY OF GREY

KEY PLAN



LEGEND



NOTES

- SITE PLAN INFORMATION PROVIDED BY ARCADIS + IBI GROUP, DATED OCTOBER 28, 2022
- ALL SITE FEATURES ARE EXISTING UNLESS OTHERWISE NOTED
- THESE DRAWINGS ARE COMPILED FROM INFORMATION SUPPLIED BY McDONALD'S AND SHALL BE SITE VERIFIED BY CONTRACTOR AT BID TIME.
- GC TO COORDINATE AND PROVIDE SERVICING LOCATES TO IBI GROUP PRIOR TO CONSTRUCTION START TO CONFIRM THERE ARE NO CONFLICTS WITH PROPOSED.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PERTINENT TO WORK BEING PERFORMED, PRIOR TO STARTING CONSTRUCTION, AND REPORT ANY DISCREPANCIES OR VARIANCES TO PROJECT MANAGER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.

REVISION No.	DATE	ISSUED/REVISION	BY

PLANNER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY OR UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL PLANNER, WITHIN THE MEANING OF THE ONTARIO PROFESSIONAL PLANNERS INSTITUTE ACT, 1994.

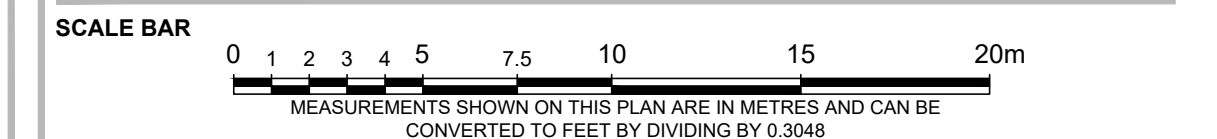
DATE: \_\_\_\_\_ KORY CHISHOLM - B.S., M.Sc., M.C.I.P., R.P.P.  
REGISTERED PROFESSIONAL PLANNER

STAMP	DATE
	Jan. 17, 2023

DRAWN BY	M.M.
PLAN SCALE	1:200 (ARCH D)
FILE No.	9922 M
CHECKED BY	S.C.
OTHER	

PROJECT  
McDONALD'S 41288 - DUNDALK  
McDonald's Restaurants of Canada Ltd.  
McDonald's Place  
Toronto, Ontario M3C 3L4  
Tel: 416-443-1000  
Fax: 416-446-3376

FILE NAME	SITE PLAN	DWG No.	1 of 1
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MEASUREMENTS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

N:\Southgate\Dundalk Commercial Plaza - 15184AH\Drawings\McDonald's MHC Site Plan\CAU\15184B - Site Plan - 2023-01-17.dwg